

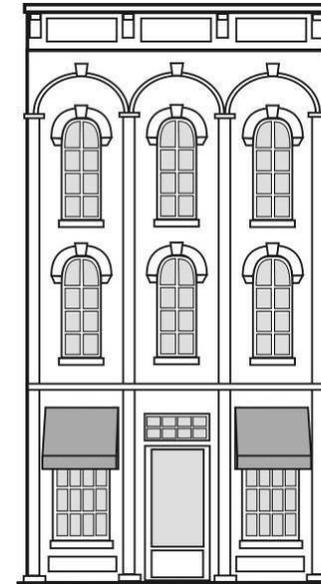
Section 4.3.5 - Building Design Requirements

The uses permitted in table 4.3.3 shall be located in a building type specified in table 4.3.3. The building type must meet general classifications of this section. Existing buildings that do not conform to the design requirements of this shall not be considered nonconforming structures; however, any exterior modifications shall bring the building closer to conformity with this section.

1. **General Commercial and Mixed-Use Buildings.** All commercial buildings and mixed-use buildings that contain non-residential, and residential uses, such as retail on the ground floor, and residential on upper floors and live-work units, shall meet the following requirements.

General Commercial and Mixed-Use Buildings

Front Façade	A front façade wall that faces a public street, plaza, green or park shall include windows and architectural features customarily found on the front of a building, such as awnings, cornice work, edge detailing or decorative finish materials.
Entrance	There shall be a minimum of one (1) usable pedestrian entrance along the front public sidewalk. Main pedestrian entrances shall have design details that enhance the appearance and prominence of the entrance so that it is recognizable from the street and parking areas.
Blank Walls	Blank walls (without windows) longer than 20 feet shall not face a street and building walls shall be articulated with wall projections/recessions, variable materials, colors or details to visually break-up the wall.
Garage Doors	Garage doors shall not be permitted on a front façade; however, openings for drives leading to parking and loading areas are permitted.
Ground Floor	At least 50% of the ground floor façade facing the street between 2 and 10 feet above the sidewalk shall be clear windows and doorways.
Upper Floor Windows	Openings above the first story shall be a maximum of 50% of the total façade area. Windows above the first story shall be vertical in proportion.
Secondary Façade	For a building located on a corner lot, the second front façade facing the lesser traveled street may have the above door and window requirement of the first floor reduced to ½ the required amount of fenestration, provided the secondary façade is not facing Michigan Avenue.
Flat Roof Buildings	Buildings with a flat roof appearance from the street shall have a decorative cornice. Flat roofs shall be enclosed by parapets.
Pitched Roof Buildings	Buildings with a pitched roof shall be permitted where the eaves are at least 20 feet from the ground and the roof pitch is between a minimum of 4:12 and a maximum of 12:12.
Mechanical Equipment Screening	All rooftop HVAC mechanical mounted equipment shall be screened from view on all sides of the building. Parapets and other screening treatment shall use high quality building materials and shall blend with the design of the building in terms of color, materials, scale and height. Mechanical equipment on buildings with a pitched roof shall be on the back half of the building and shall be concealed, such that it is not visible from the ground.



Flat roof with traditional cornice proportionate to building and parapet wall tall enough to screen rooftop equipment or pitched roof.

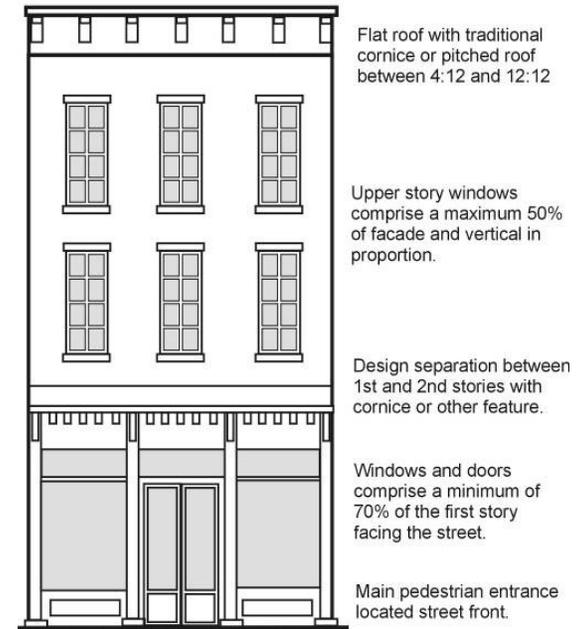
Upper story windows comprise less than 50% of facade and are vertical in proportion.

Windows and doors comprise a minimum of 50% of the first story facing the street.

2. **CBD Storefront Buildings.** All buildings in the CBD must have a storefront facing Michigan Avenue meeting the following requirements, except for cottage shop buildings and civic/institutional buildings.

CBD Storefront Buildings

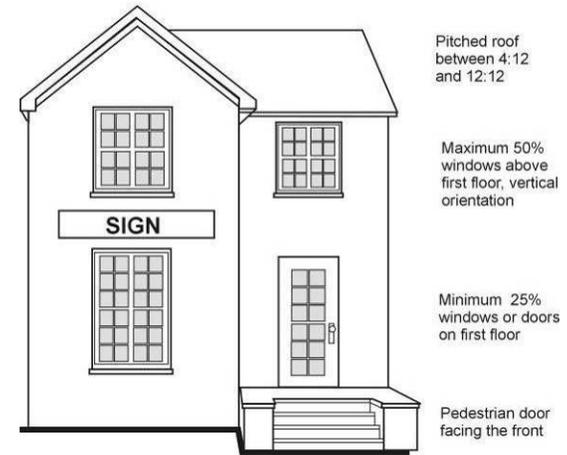
Ground Floor Storefront	Ground floors shall be designed with storefronts that have windows, doorways and signage, which are integrally designed and painted.
Storefront	Storefront buildings shall be designed to create a distinct and separated ground floor area through the use of accent such as a string course, change in material or textures, or an awning or canopy between the first and second stories.
Entrance	There shall be a minimum of one (1) usable pedestrian entrance every full fifty (50) feet of frontage along the front public sidewalk. Main pedestrian entrances shall have design details that enhance the appearance and prominence of the entrance so that it is recognizable from the street and parking areas.
Blank Walls	Blank walls (without windows) longer than 20 feet shall not face a street and building walls shall be articulated with wall projections/recessions, variable materials, colors or details to visually break-up the wall.
Garage Doors	Garage doors shall not be permitted on a front façade; however, openings for parking structure entrances and drives leading to loading areas are permitted.
Ground Floor Windows and Doors	No less than 70% of the storefront/ground floor façade facing the street between 2 and 10 feet above the sidewalk shall be clear windows and doorways. Glass areas on storefronts shall be clear or lightly tinted. Mirrored glass is prohibited. Required window areas shall allow views into retail space, working areas, lobbies, pedestrian entrances or display windows. Windows shall not be blocked with opaque materials or the back of shelving units.
Upper Floor Windows	Openings above the first story shall be a maximum of 50% of the total façade area. Windows above the first story shall be vertical in proportion.
Secondary Facade	For a building located on a corner lot, the second front façade facing the lesser traveled street may have the above door and window requirement of the first floor reduced to ½ the required amount of fenestration, provided the secondary façade is not facing Michigan Avenue.
Flat Roof Buildings	Buildings with a flat roof appearance from the street shall have a decorative cornice. Flat roofs shall be enclosed by parapets.
Pitched Roof Buildings	Buildings with a pitched roof shall be permitted where the eaves are at least 20 feet from the ground and the roof pitch is between a minimum of 4:12 and a maximum of 12:12.
Mechanical Equipment Screening	All rooftop HVAC mechanical mounted equipment shall be screened from view on all sides of the building. Parapets and other screening treatment shall use high quality building materials and shall blend with the design of the building in terms of color, materials, scale and height. Mechanical equipment on buildings with a pitched roof shall be on the back half of the building and screened on all sides so it is not visible from the ground.



3. **Cottage Shop Building.** Buildings that were originally constructed as single family residences and converted to a non-residential use or constructed to appear as residential conversions shall meet the following requirements.

Cottage Shop Building

Front Façade	There shall be a minimum of one (1) usable pedestrian entrance along the front public sidewalk.
Blank Walls	Blank walls (without windows) longer than 20 feet shall not face a street and building walls shall be articulated with wall projections/recessions, variable materials, colors or details to visually break-up the wall.
Garage Doors	Garage doors shall not be permitted on a front façade.
Ground Floor Windows and Doors	No less than 25% of the ground floor façade facing a street shall be clear windows and doorways.
Upper Floor Windows	Openings above the first story shall be a maximum of 50% of the total façade area. Windows above the first story shall be vertical in proportion.
Roof Design	Buildings with a pitched roof shall be permitted where the eaves are at least 20 feet from the ground and the roof pitch is between a minimum of 4:12 and a maximum of 12:12.



4. **Apartment Buildings.** Apartment buildings that contain only multiple-family dwellings shall meet the following design requirements. Multiple-family dwellings located in mixed-use buildings shall be subject to the general commercial/mixed-use buildings or the CBD storefront buildings design requirements

in subsections 1 and 2. Apartment buildings are considered buildings with common entrances - where dwellings have individual entrances, they shall be subject to the townhouse design standards of subsection 5 below.

Apartment Buildings

Entrance	There shall be a minimum of one pedestrian entryway facing the front lot line with a front stoop. The stoop or porch shall have a minimum depth of 4 feet and a minimum area of 24 square feet. ADA-compliant access ramps that connect to the stoop may project into the front yard.
First Floor Elevation	The first floor elevation shall be a minimum of 3 feet above the average exterior sidewalk elevation in front of the building.
Windows and Doors	The front façade of all residential units shall be a minimum of 25% and a maximum of 75% windows and doorways.
Roof Design	Buildings with a flat roof appearance from the street shall have a decorative cornice. Buildings with a pitched roof shall be permitted where the eaves are at least 20 feet from the ground and the roof pitch is between a minimum of 4:12 and a maximum of 12:12.
Parking and Carports	Off-street parking lots and carports or garages shall be located in the side or rear yard.



Flat roof with parapet and cornice or pitched roof between 4:12 and 12:12

Windows and doors comprise a minimum of 25% of the front facade

Pedestrian entrance facing sidewalk
Parking to side or rear

First floor elevation minimum 3 feet above sidewalk

5. **Townhouses.** Attached/townhouse dwellings shall meet the following design requirements.

Townhouses

Entrance	Each dwelling shall provide a separate pedestrian entryway facing the front lot line with direct access to the outdoors at ground level by way of a front porch or stoop with steps.
Front Porch or Stoop	All dwellings shall include a front stoop or porch. The stoop or porch shall have a minimum depth of 4 feet and a minimum area of 24 square feet. ADA-compliant access ramps that connect to the stoop may project into the front yard.
First Floor Elevation	The first floor elevation shall be a minimum of 3 feet above the average exterior sidewalk elevation in front of the building.
Windows and Doors	The front façade of all residential units shall be a minimum of 25% and a maximum of 50% windows and doorways.
Roof Design	Buildings shall be designed with a pitched roof with eaves at least 20 feet from the ground and the roof pitch is between a minimum of 4:12 and a maximum of 12:12.
Garages	Attached or detached garages shall be located in the rear yard or on the rear side of the building and shall be accessed by a rear alley or drive.



Pitched roof between 4:12 and 12:12 roof pitch

Front facade minimum 25% and maximum 50% windows and doors

Individual entrances

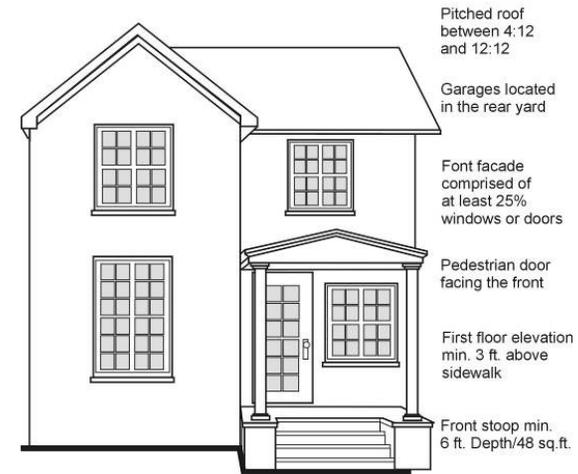
Front stoop or porch 3' above sidewalk grade

Pedestrian orientation towards street with garages to rear

6. **Detached single and two family dwellings.** Single family detached dwellings and duplex dwellings shall meet the following design requirements.

Single-Family Detached and Duplex Dwellings

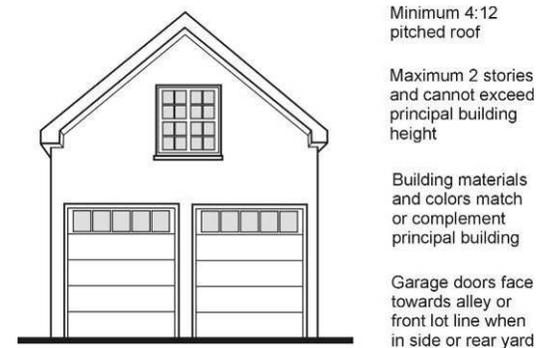
Entrance	All buildings shall provide at least one (1) pedestrian door facing the front lot line. Two family dwellings may have one (1) unit with a door on the side.
Front Porch or Stoop	All dwellings shall include a front porch or stoop with steps. A minimum depth of 6 feet and a minimum area of 48 square feet shall be provided on single-family detached dwellings and duplex dwellings. Duplex units may share a single front porch.
First Floor Elevation	The first floor elevation shall be a minimum of 3 feet above the average exterior sidewalk elevation in front of the building.
Windows and Doors	The front façade of all residential units shall be a minimum of 25% and a maximum of 50% windows and doorways.
Roof Design	Buildings shall be designed with a pitched roof with eaves at least 20 feet from the ground and the roof pitch is between a minimum of 4:12 and a maximum of 12:12.
Garages	Detached garages shall be located in the rear yard. Garages may be accessed by a rear alley or by driveways that pass through the side yard of the lot. Front facing attached garages shall be permitted, provided they don't project past the front building line and do not encompass more than 50% of the total building width.



7. **Accessory Buildings.** Detached accessory buildings shall meet the following design requirements:

Accessory Buildings

Location	Detached accessory buildings shall only be located in the side or rear yard.
Setbacks	Accessory buildings shall be a minimum of 3 feet from the side, and rear lot line and shall be a minimum of 10 feet from any other building, including the main building or accessory buildings on adjacent lots.
Garage Doors	Garage doors may not face towards a street unless they are located in the rear or side yard. Garage doors may face an alley.
Height	Detached residential accessory buildings may not exceed 16 feet and 2 stories in height; provided the roof does not exceed the height of the principal building. Commercial or industrial accessory buildings shall be subject to the principal building height restrictions.
Roof	Residential accessory buildings shall be designed with a minimum of 4:12 roof pitch. Commercial or industrial accessory buildings may have a flat roof.
Building Materials	The building materials and colors of the accessory building shall match or complement at least one of the materials used on the principal building.

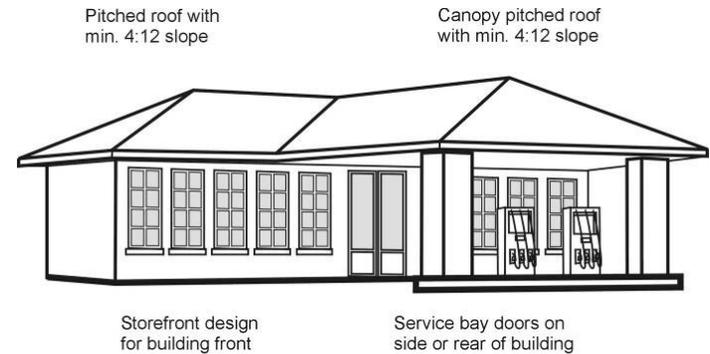


8. **Auto Service Uses.** Service stations and other automobile-oriented uses such as car washes, and vehicle maintenance uses shall meet the following design requirements. A lot containing an auto service use shall not be located within 300 feet of a lot

containing the same type of auto service use or a use with an accessory drive through window.

Auto Service

Building Height	A single story building may be permitted, provided the building has a pitched roof with a minimum 4:12 slope.
Building Design	The building shall meet all of the design requirements for a storefront building.
Fueling Pumps	No more than 4 fueling pumps may be located in the Michigan Avenue front yard; provided there is a ten (10) foot landscape greenbelt along the frontage.
Service Bay Doors	Service bay doors shall be located on the side or rear of the building and shall not be on the front façade facing Michigan Avenue.
Canopy	The canopy over the fueling pumps shall have a pitched roof with a minimum 4:12 slope. Support posts for the canopy shall be brick or stone. The canopy shall be attached to the building roof.
Access	No more than one (1) driveway shall be provided directly from the auto service use to a public street. On a corner lot, a second access can be allowed (one to each street).
Storage	There shall be no outside storage of vehicle parts or other materials. Long term storage of vehicles for longer than 48 hours shall be located in the rear yard and shall be screened by a minimum six (6) foot tall opaque fence.

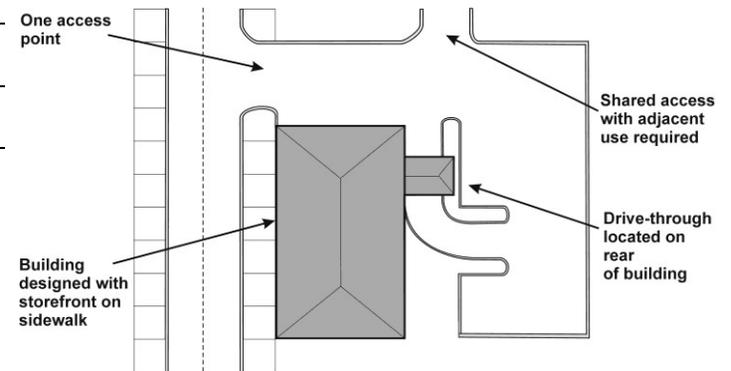


9. **Accessory Drive-Through Uses.** Drive-through windows that are accessory to restaurants, banks, retail uses such as pharmacies and service uses such as dry-cleaners shall meet the following design requirements. A lot containing a use with an

accessory drive through window shall not be located within 300 feet of another lot containing a use with an accessory drive through window or an auto service use.

Drive-Through Windows

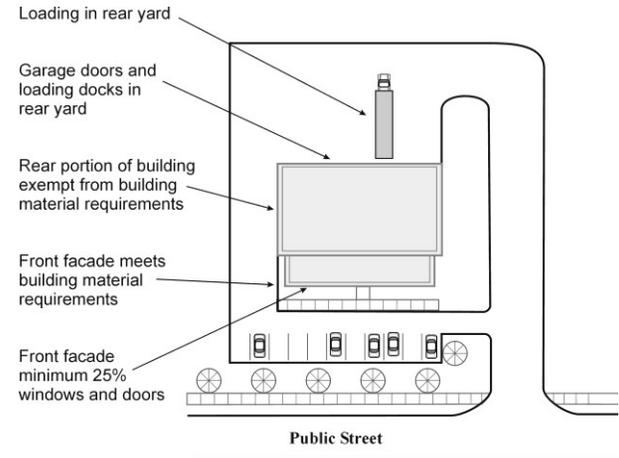
Building	The building shall meet all of the design requirements for a storefront building.
Drive-through Location	The drive-through shall be attached to the rear of the building where it is not visible from a street.
Number of Lanes	No more than one drive-through window, teller or lane shall be permitted on a building or site.
Access	No more than one (1) driveway shall be provided to a public street. The driveway shall be shared with an adjacent use or easements provided to allow future shared use.



10. **Industrial buildings.** All industrial buildings shall meet the following requirements.

Industrial Buildings

Front Façade	The front façade facing the street shall meet the building material requirements of subsection 12 below.
Windows and Doors	The front façade shall consist of a minimum of 25% windows and doors.
Side and Rear Facades	The side and rear facades of the building that do not face a public street shall be exempt from the building material requirements of subsection 12 below. For a corner lot, the side façade facing a street shall also be subject to the front façade design requirements above.
Garage Doors and Loading Docks	Garage doors and loading docks shall not be permitted on a front façade. All loading areas shall be located in the rear yard.
Mechanical Equipment Screening	All rooftop HVAC mechanical mounted equipment shall be screened from view on all sides of the building. Parapets and other screening treatment shall use high quality building materials and shall blend with the design of the building in terms of color, materials, scale and height.



11. **Civic/Institutional buildings.** The design of an institutional or community service building, such as a church, school, government office or post office is subject to review and approval by the Planning Commission. The intent is to allow

flexibility in the design and siting of these unique buildings that serve a public use while ensuring their positive contribution to a desired community character as stated in the purpose section of the Grass Lake Village Form-Based Code.

Civic/Institutional Buildings

Front Setback	Civic/institutional buildings may exceed the maximum front yard setback of the district where a pedestrian plaza or landscaped front yard is provided.
Front Façade	Walls that face a public street, plaza, green or park shall include windows and architectural features customarily found on the front of a building, such as awnings, cornice work, edge detailing or decorative finish materials.
Entrance	There shall be a minimum of one (1) usable pedestrian entrance along the front public sidewalk. Main pedestrian entrances shall have design details that enhance the appearance and prominence of the entrance so that it is recognizable from the street and parking areas.
Prominent Design	The standards for General Commercial and Mixed-Use Buildings contained in Section 4.3.5.1 shall be used as a basis for the design of civic/institutional buildings, however the Planning Commission may permit modifications from these standards based upon the unique needs for the building and the desire to create unique landmark features with civic/institutional buildings.



12. **Building Materials.** All buildings shall contain quality building materials that are in keeping with the character of traditional buildings in Grass Lake. Permitted materials for exterior walls (exclusive of windows and doors) that are clearly visible from the street or parking lot, shall be limited to the following:

Building material	Primary building material	Trim material
Brick or tile masonry (panel brick, tilt-up brick or textured paneling not permitted)	Permitted	Permitted
Native stone (or synthetic equivalent)	Permitted	Permitted
Stucco (cementitious finish)	Permitted	Permitted
Wood lap siding	Permitted	Permitted
Fiber cement siding (such as Hardie-Plank) or vinyl siding	Permitted	Permitted
Pre-cast masonry (for trim and cornice elements only)	--	Permitted
Gypsum Reinforced Fiber Concrete (GFRC—for trim elements only)	--	Permitted
Metal (for beams, lintels, trim elements and ornamentation only)	--	Permitted
Split-faced block (only for piers, foundation walls and chimneys)	--	Permitted

- A. Primary building material shall comprise at least 75% of the visible wall materials. Trim material shall comprise no more than 25% of the visible wall materials. Wall area calculations are exclusive of windows and doors
- B. Provided the appearance is in keeping with the traditional architectural character of Grass Lake, other materials not listed above that are of the same or higher quality in terms of durability and appearance/texture similar to brick, stone, or wood may be approved by the Planning Commission.
- C. Wall materials including panel brick, tilt-up brick textured paneling, plain, smooth-face, or scored concrete masonry units, exterior insulation and finish system (EIFS), corrugated metal

paneling and fiberglass sheeting are prohibited for walls that are clearly visible from streets, parks, civic squares, and civic greens.

13. **Awnings and Marquees.** Storefronts and building entrances may be enhanced by awnings or marquees, which give shade and shelter or add color and visual interest to the entry or display window of the storefront, provided that the following conditions are met:

- A. Awnings and marquees may project over a sidewalk; however, they must be a minimum of 8 foot clearance provided from the sidewalk.
- B. Awnings and marquees shall be functional and provide shade or shelter for pedestrians over a substantial portion of the sidewalk.
- C. Awnings shall be positioned immediately above ground floor windows and have a straight shed that projects from the building.
- D. Awnings shall be constructed of durable materials such as canvas or steel that will not fade or tear easily. Plasticized, rigid, cubed or curved awnings or mansard style canopies are prohibited.
- E. Awnings shall not be internally illuminated and any signs shall be illuminated by fixtures located above the awning and directed downward.

